

**RFP 2021-10**

**REQUEST FOR PROPOSALS  
FOR  
CONTRACT NO. 2-FACILITY IMPROVEMENTS,  
GENERAL CONSTRUCTION  
AT THE  
MATERIALS RECOVERY FACILITY  
IN  
HILLBURN, NEW YORK**

**DATED JULY 1, 2021**

**TO: RECIPIENTS OF THE REQUEST FOR PROPOSALS**

**FROM: ROCKLAND COUNTY SOLID WASTE MANAGEMENT AUTHORITY d/b/a  
ROCKLAND GREEN**

**DATE: JULY 19, 2021**

**SUBJECT: ADDENDUM NUMBER 4**

This Addendum Number 4 shall be part of the Request for Proposals No. 2021-10 for Contract No. 2-Facility Improvements, General Construction at the Materials Recovery Facility in Hillburn, New York issued by the Rockland County Solid Waste Management Authority d/b/a Rockland Green (hereinafter "Rockland Green") on July 1, 2021 (the "RFP").

This Addendum Number 4 provides (i) the minutes and sign-in sheets from the Site visits and pre-proposal meetings held on July 12, 2021 and July 15, 2021; and (ii) clarifications and modifications to the RFP.

**I. MINUTES FROM SITE VISITS AND PRE-PROPOSAL MEETINGS**

- a. The minutes from the Site visit and pre-proposal meeting that was held on Monday, July 12, 2021 are attached hereto as Attachment 1.

b. The minutes from the Site visit and pre-proposal meeting that was held on Thursday, July 15, 2021 are attached hereto as Attachment 2.

## **II. SIGN-IN SHEETS**

a. The sign-in sheet from the July 12, 2021 Site visit and pre-proposal meeting is attached hereto as Attachment 3.

b. The sign-in sheet from the July 15, 2021 Site visit and pre-proposal meeting is attached hereto as Attachment 4.

## **III. MODIFICATIONS TO THE RFP**

a. The topographic and utility survey of east side of the site and Area 2 finished floor spot elevations survey, mentioned in Appendix D of the RFP, is attached hereto as Attachment 5.

b. Appendix E is hereby deleted in its entirety and replace by the new Appendix E attached hereto as Attachment 6.

c. The Price Proposal Form 16 is hereby deleted in its entirety and replaced by the new Price Proposal Form 16 attached hereto as Attachment 7.

## **IV. CLARIFICATIONS TO THE RFP**

- The narrative clarification of base bid civil scope of work for the east side retaining wall and associated paving is attached hereto as Attachment 8. The revised civil drawings showing the base work will be issued in a future addendum.
- The narrative clarification of PEMB addition design methods is attached hereto as Attachment 9. The structural drawings showing these methods will be issued in a future addendum.

**ATTACHMENT 1**

**MINUTES FROM THE  
JULY 12, 2021  
SITE VISIT AND PRE-PROPOSAL MEETING**



July 15, 2021

To All Attendees

Re: Minutes of Meeting  
Contract No. 2 – Facility Improvements General Construction  
Rockland Green RFP 2021-10

RRT and Rockland Green held a mandatory pre-proposal meeting on Monday, July 12, 2021 for the above referenced project. Enclosed are the Minutes of Meeting.

The enclosed minutes represent our understanding of the items discussed. If you have any questions or do not agree with the minutes, please contact our office.

Very truly yours,

**RRT DESIGN & CONSTRUCTION**

A handwritten signature in black ink that reads 'Nathiel Egesi'.

Nathiel G. Egesi, P.E.  
President

NE/nmk

Enclosure



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 12, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

- I. Project Team Introduction
  - A. Rockland Green
    - 1. Gerard Damiani – Executive Director
    - 2. Dee Louis – Engineer II
    - 3. Ron Ludwig – Operations Supervisor
  - B. RRT
    - 1. Nat Egosi – President
    - 2. Jack Thompson – Construction Manager
    - 3. Natalie Kovac – Project Manager
    - 4. Kevin Peng – Project Engineer
  - C. West Group Law
    - A. Stephanie Kosmos
- II. Contractor Introduction
  - A. See attached sign in sheet for participants.
- III. Administrative Process
  - A. All questions and comments shall be submitted to Dee Louis.
  - B. All participants at the meeting are invited to submit a bid.
  - C. Due to the schedule of the project, compete bids are strongly encouraged.
- IV. The Facility Improvements are being procured through separate contracts as follows:
  - A. Contract No. 2 - Facility Improvements: General Construction
  - B. Contract No. 3 - Facility Improvements: Mechanical/HVAC
  - C. Contract No. 4 - Facility Improvements: Plumbing
  - D. Contract No. 5 - Facility Improvements: Electrical
  - E. Contract No. 6 - Facility Improvements: Fire Protection System
- V. The building has been divided into the following area designations:
  - A. Area 1 – Existing Tipping Area.
  - B. Area 2 – Existing Processing Area.
  - C. Area 3 – Existing Administration Area.
  - D. Area 4 – New Commingled Tipping Area.
  - E. Area 5 – New Storage & Glass Processing Area
  - F. Area 6 – New Truck Loading Dock Area.



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 12, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

- VI. Contract 2 Scope:
- A. Civil/Site work associated with the entire site, including but not limited to:
    - 1. Clear, strip and soil erosion control
    - 2. Rough grade
    - 3. Site demolition
    - 4. Excavation
    - 5. Grading and drainage
    - 6. Northwest concrete curb revisions to allow for additional paved turning area
    - 7. Water line relocation
    - 8. Fire water service connection to Area 5
    - 9. Paving and fencing
    - 10. Retaining wall along property line
      - a. The design shown on the drawings dated 7/6 is the alternate. A revised design with shorter wall is to be created as the base bid with less extensive road widening. It will be included as part of the addendum with a revised pricing form.
    - 11. Landscaping/Hardscaping
    - 12. Stormwater improvements
    - 13. Traffic signage and stripping
  - B. Architectural work associated with all areas, including but not limited to:
    - 1. Interior demolition and buildout in Area 3, including office structure/layout modifications, mill work, doors & hardware, finishes and modifications of one (1) window
    - 2. Pre-Engineered Metal Building (Areas 4-6)
    - 3. Loading dock equipment with accessories in Area 6
    - 4. Overhead doors and personnel doors
    - 5. Roof interface work
    - 6. Roof and insulation repair for Areas 1 and 2
    - 7. Roof replacement for Area 3
    - 8. Cleaning associated with Area 1 and 2
    - 9. Fire service room in Area 5
    - 10. Building grounding for Areas 4-6
  - C. Structural work associated with all areas, including but not limited to:
    - 1. Interior demolition and buildout in Areas 1 and 2, including demolition and modifications of concrete pushwalls, environmental wall, guardrails, building wall panel and/or steel framing.
    - 2. Fill existing pits.



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 12, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

- 3. Excavate and construct pits associated with the processing equipment.
- 4. Loading dock pits
- 5. Overhead and personnel doors framing for all areas.
- 6. Foundations
- 7. Concrete Bunkers
- 8. Concrete pads for Fire Rover system and proposed switchboard
- 9. Pushwall and environmental wall
- 10. Column and building reinforcing and brace relocations in Area 1 and 2.
- 11. MEP/F roof reinforcements
- D. Miscellaneous work associated with all areas, including but not limited to:
  - 1. Floor damage repair
  - 2. Bollards
  - 3. Area 3 structural modifications required for the installation of an air compressor system.
- E. Contract No. 2 Work By Others
  - 1. Processing equipment supply and installation.
  - 2. Any work as described under Contracts No. 3 – 6
  - 3. Furnitures, office and vending equipment in Area 3
  - 4. Gas service line, meter and connections before the gas meter
  - 5. Removal of existing oil tank on-site
  - 6. Removal of existing fabric shed and propane tank on-site.

VII. Critical Dates

- A. Contract 1 Equipment Delivery
  - 1. Equipment delivery and installation will begin on December 3, 2021.

B. Contract 2

Date	Issuance
July 19, 2021*	Proposer Questions Latest Date
July 26, 2021	Question Response and Addendum
<b>August 13, 2021, 2:00 PM</b>	<b>Proposal Due Date and Time</b>
August 19, 2021	RRT Recommendation Report Due
August 26, 2021	Award Recommendation
September 3, 2021	Contract Execution



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 12, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

\*Questions are encouraged to be sent anytime and Rockland Green will respond promptly on a rolling forward basis. If needed, we may extend the July 19 date as the last date for questions.

C. Contracts 3 – 6

Date	Issuance
July 30, 2021	RFP Publication
August 11, 2021	Pre-Proposal Meeting
August 20, 2021	Proposer Questions Due
August 26, 2021	Question Response and Addendum
September 13, 2021	Proposal Due Date
September 15, 2021	RRT Recommendation Reports Due
September 23, 2021	Award Recommendation
October 1, 2021	Contract Execution

VIII. Contract

A. A copy of the proposed contract will be included in an addendum.

IX. PLA

A. A PLA will be in place for all contracts.

X. Walk Through

XI. Questions & Answers

A. All questions will be answered via addendum.

XII. Clarifications

A. An alternate design for stand-alone PEMB columns is being prepared, versus the design as shown which attaches the addition to the existing. The Proposer shall choose its preferred approach and will then be responsible for the structural interface as needed. A narrative, drawings, and revised pricing form will be issued in an addendum. As a reminder, drawings and calculations for the PEMB addition being proposed are to be included with the Proposal.



**ATTACHMENT 2**

**MINUTES FROM THE  
JULY 15, 2021  
SITE VISIT AND PRE-PROPOSAL MEETING**



July 16, 2021

To All Attendees

Re: Minutes of Meeting  
Contract No. 2 – Facility Improvements General Construction  
Rockland Green RFP 2021-10

RRT and Rockland Green held a mandatory pre-proposal meeting on Thursday, July 15, 2021 for the above referenced project. Enclosed are the Minutes of Meeting.

The enclosed minutes represent our understanding of the items discussed. If you have any questions or do not agree with the minutes, please contact our office.

Very truly yours,

**RRT DESIGN & CONSTRUCTION**

A handwritten signature in black ink that reads 'Natalie M. Kovac'.

Natalie M. Kovac, P.E.  
Project Manager

NMK

Enclosure



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 15, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

- I. Project Team Introduction
  - A. Rockland Green
    - 1. Gerard Damiani – Executive Director ( Not in attendance)
    - 2. Dee Louis – Engineer II
    - 3. Ron Ludwig – Operations Supervisor
  - B. RRT
    - 1. Nat Egosi – President ( Not in attendance)
    - 2. Jack Thompson –Construction Manager ( Not in attendance)
    - 3. Natalie Kovac – Project Manager
    - 4. Kevin Peng – Project Engineer ( Not in attendance )
- II. Contractor Introduction
  - A. See attached sign in sheet for participants.
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  - A. All questions and comments shall be submitted to Dee Louis.
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**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**RFP 2021-10  
CONTRACT 2 PRE-PROPOSAL MEETING MINUTES**

Date: July 15, 2021  
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- B. Review of questions from the July 12 pre-proposal meeting.

XII. Clarifications

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**ATTACHMENT 3**

**SIGN-IN SHEET FROM THE  
JULY 12, 2021  
SITE VISIT AND PRE-PROPOSAL MEETING**





**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**CONTRACT 2 RFP PRE-PROPOSAL MEETING  
SIGN IN SHEET**

Date: July 12, 2021

Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

NAME	COMPANY	PHONE	EMAIL
RANA	AI CONSTRUCTION	929-431-2160	ra@aiconstruction service.com ac@aiconstruction
Mike Amori	A-tech Concrete	(732) 248- 1777	mamori@ atechconcrete.net
Keith Jacobson	ABS Steel	845-590-4895	Keith@ABM24? con
JOHN DOWLEY	OCS INDUSTRIES	845-238-0449	JDowley@ocs industries.com
Ron Ludwig	Rockland Chem	845-671- 9399	R.Ludwig@ Rocklandchem
Stephanie Kosmos	West Group Law	914-898-2430	skosmos@west grouplaw.com
Dee Louis	Rockland Green	845-641- 729-4988	dlouis@rockland green.com
John Fanshawe	Rockland Electric	845-627-3232	Rocklandelectric @gmail.com





**ATTACHMENT 4**

**SIGN-IN SHEET FROM THE  
JULY 15, 2021  
SITE VISIT AND PRE-PROPOSAL MEETING**



**ROCKLAND COUNTY, NY MATERIAL RECOVERY FACILITY  
FACILITY IMPROVEMENTS**

**CONTRACT 2 RFP PRE-PROPOSAL MEETING  
SIGN IN SHEET**

Date: July 15, 2021  
Location: Hillburn MRF – 420 Torne Valley Road, Hillburn NY 10931

NAME	COMPANY	PHONE	EMAIL
Nicola Rivera	Mace Contracting	914-576-0606	vladimir@malecontracting.com
MICHAEL DONG	HOLT CONSTRUCTION	845-735-4054	KDONG@HOLTCK.COM
BILLY GIDDA	A-Tech Concrete	516-236-4302	BILLYGIDDA@gmail.com
Karun Singh	A-Tech concrete	516 236 4302	Billygidda@gmail.com
Zachary Gidda	A-Tech Concrete	516-417-4140	Zack@atechconcrete.net
ALEXANDER HUZAR	MARK CONSTRUCTION	973-263-5889	BIDS@MARKCONSTR.COM
Michal Amoin	A-tech Concrete	(732)248-1771	mamoin@atechconcrete.com
Rou Ivancovic	Rockland Green	845-671-9399	R.Ivancovic@rocklandgreen.com
Natalie Kovac	RRT	516-238-7971	nkovac@rrtenviro.com
Dee Lewis	Rockland Green	845-729-4988	dlouise@rocklandgreen.com

**ATTACHMENT 5**

**APPENDIX D  
TOPOGRAPHIC AND UTILITY SURVEY**

**APPENDIX D**  
**ADDITIONAL INFORMATION**

<u>Number</u>	<u>Description</u>	<u>Rev</u>	<u>Date</u>
D1	Division of Responsibility (3 pages)	6	6/15/2021
D2	Butler Drawings for Existing Areas 1 & 2 (33 sheets)	2	12/20/1996
D3	Butler Drawings for Existing Area 3 (14 sheets)	1	12/20/1996
D4	Butler Drawings for Existing Canopy (7 sheets)	-	-
D5	Geotechnical Report (23 pages)	1	2/3/2021
D6	Roof Inspection Report (16 pages)	-	4/7/2021
D7	Existing Sprinkler Drawings and Hydraulic Calculations (5 sheets and 82 pages)	1	5/4/2021
D8	Hydrant Flow Test and Locations (24 pages)	1	03/23/2021
<u>D9</u>	<u>Topographic and Utility Survey</u>	<u>1</u>	<u>07/14/2021</u>

Information below is being obtained and expected to be provided when they become available.

- ~~1. Topographic and utility survey of east side of the site to be expected on July 13, 2021~~
- ~~2. Finished floor spot elevations survey of Areas 1 & 2 to be expected on July 13, 2021~~
- ~~3.1. Lead, Mold, and Asbestos Survey and Specifications for Area 3. Timeline is unavailable at this point.~~
- ~~4. Existing Sprinkler Drawings to be expected on July 6, 2021.~~

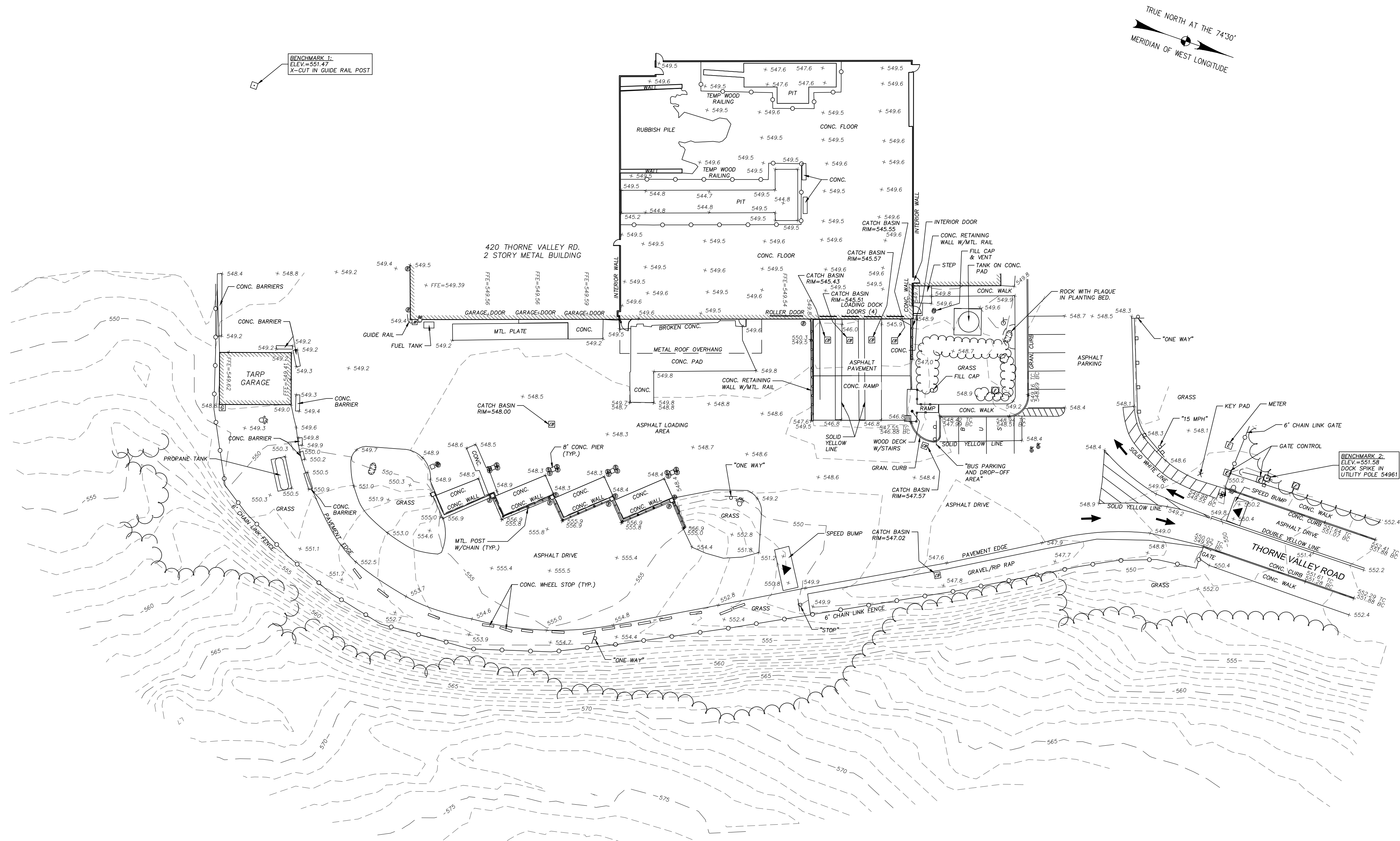
**APPENDIX D9**

Topographic and Utility Survey

(1 page)



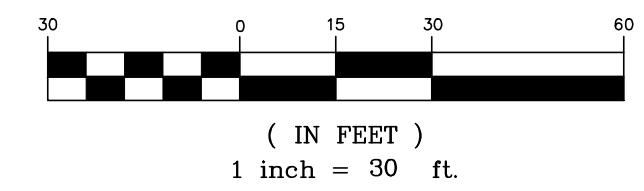
File Name: G:\MJ1568.01 Rockland Green - 420 Thorne Valley Rd\Cad\MJ1568.01\_XSRVY.dwg (Layout Layout1)  
 Date: Wed, Jul 14, 2021, 2:11 PM (Name: pmiller)



**GENERAL NOTES:**

1. NORTH IS ORIENTED TO GRID NORTH USING NYSNET RTN GPS OBSERVATION.
2. THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. THE HORIZONTAL DATUM IS ON NORTH AMERICAN DATUM OF 1983, NEW YORK STATE PLANE EAST ZONE 3101.
4. CONTOUR INTERVAL = 1 FOOT.
5. INFORMATION SHOWN HEREON IS FROM A PARTIAL FIELD SURVEY COMPLETED BY M.J. ENGINEERING AND LAND SURVEYING, P.C. ON JUNE 28, 2021. INTERIOR BUILDING LOCATIONS EXTRACTED FROM STATIC HIGH DEFINITION LASER SCANS. TOPOGRAPHY OUTSIDE OF THE FENCE LIMITS WAS GENERATED FROM 2011 LIDAR DATA DOWNLOADED FROM NEW YORK STATE GIS CLEARINGHOUSE.
6. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE ONLY. THIS MAPPING DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES ON SITE AND IS SUBJECT TO FIELD VERIFICATION.
7. UNAUTHORIZED ALTERATIONS OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS SEAL AND SIGNED WITH INK SHALL NOT BE CONSIDERED TO BE VALID COPIES.

LEGEND	
BENCHMARK	⊕
CATCH BASIN	⊞
FIRE HYDRANT	⊞
DECIDUOUS TREE	⊙
SINGLE POST SIGN	⊙
DOUBLE POST SIGN	⊙
METAL POST	⊙
BOLLARD	⊙
FLAG POLE	⊙
ROCK	⊙
DOOR	⊙
GLY WIRE	⊙
UNKNOWN VALVE	⊙
UNKNOWN VENT	⊙
UNKNOWN FALL CAP	⊙
JUNCTION BOX	⊙
ROOF DRAIN	⊙
ELECTRICAL JUNCTION BOX	⊙
ELECTRIC METER	⊙
GAS METER	⊙
UTILITY POLE WITH LIGHT	⊙
BUILDING LINE	⊙
SPOT ELEVATION	+90.0
MINOR CONTOUR	91
MAJOR CONTOUR	90
WOODS LINE	⊙
CHAIN LINK FENCE	⊙
GUIDERAIL	⊙
RAILING	⊙



SUBMITTAL / REVISIONS				
No.	DATE	DESCRIPTION	BY	REVIEWED BY:
1				

PROJ. MANAGER:	GG
CHIEF DESIGNER:	
DESIGNED BY:	
DRAWN BY:	BM
CHECKED BY:	PM
DATE	DATE

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, (I.E.) ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LAND SURVEYOR FOR A LAND SURVEYOR, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.

**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

STERLING ENVIRONMENTAL ENGINEERING, P.C.  
**TOPOGRAPHIC SURVEY**  
**420 THORNE VALLEY ROAD**  
**ROCKLAND GREEN FACILITY**  
 VILLAGE OF HILLBURN  
 ROCKLAND COUNTY NEW YORK

SCALE: 1" = 30'  
 CONTRACT No.:  
 MJ PROJ. No.: MJ1568.01  
 DATE: 7/14/2021  
**1 OF 1**

**ATTACHMENT 6**

**APPENDIX E  
SUPPLEMENTAL CONDITIONS**



**APPENDIX E  
SUPPLEMENTAL CONDITIONS**

1. The Proposer shall provide Additional Submittals at the time of submittal of the Proposal as requested in Appendix F of this RFP. These Additional Submittals are considered part of the Proposal and, as such, will be considered in the evaluation of the Proposal and selection of the successful Proposer.
2. The Statement of Work provided in Appendix O of this RFP and the Additional Information provided in Appendix D of this RFP shall be used for intent as described below:
  - 2.1. The Statement of Work set forth in Appendix O shall be used to understand the different scopes of work included under the separate contracts for the Facility Improvements. This is not an all-inclusive description, and shall not be limited to, but shall include the items listed.
  - 2.2. The Division of Responsibility (DOR) set forth in Appendix D shall be used as a project management tool to guide the Project Team in the planning of the Work and the general allocation of responsibilities between the parties.
  - 2.3. The Butler drawings set forth in Appendix D for existing Areas 1, 2, 3 and canopy shall be used as a reference for existing building conditions. However, the Contractor is responsible for all layout, field verification of existing conditions, new elevations, establishing control points, and coordination with other trades related to its Work.
  - 2.4. The Geotechnical Report set forth in Appendix D shall be studied and used to understand subsurface and site conditions for site preparation and earthwork. Civil and structural design have accounted for the geotechnical information.
  - 2.5. The Roof Inspection Report set forth in Appendix D shall be studied and used to understand existing roof conditions and shall aid the proposed price for associated roof work.
  - 2.6. The Existing Sprinkler Drawings and Hydraulic calculation set forth in Appendix D shall be used to understand the installed system and used as reference for the design of the new system.
  - 2.7. The Hydrant Flow Test and Locations set forth in Appendix D shall be used as a reference for the design of the new sprinkler system.
3. The information that is being obtained and shall later be used for intent as described below:
  - 3.1. Topographic and utility survey of east side of the Site shall then be studied and used to understand existing grading and utilities conditions of the Site and shall aid the proposed price for all related site work in the area. The survey will be incorporated in the civil design.
  - 3.2. The finished floor spot elevations survey for Areas 2 shall then be studied and used to understand existing floor elevations and be aware of the fixed working reference point for the entire project.
  - 3.3. Lead, Mold, and Asbestos Surveys and Specifications for Area 3 are being performed by the Owner and will be provided to the Contractor when available. These items shall then

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be studied and used to understand existing environmental conditions. The handling and disposal of respective materials shall follow as recommended in the survey. At this time, any removal costs are not to be included and assume no presence of lead, mold or asbestos exists.

4. The Contractor shall be aware that there are outstanding items to be confirmed as related to Contract No.1 Processing Equipment, including floor loading diagram, equipment pit locations and sizes, pit edge details, equipment interfaced wall opening locations and sizes, power requirements and power drop locations and Area 3 compressor room footprint and layout. The Contract Drawings provide the basis for pricing and Work to then proceed after these outstanding items are released by the Engineer. Price adjustments are to be made based on unit pricing. The Contractor shall include unit pricing on the Price Proposal Form set forth on Proposal form 16 of Appendix I. No price adjustments will be made if items listed above are to be approved as submitted and already accurately reflected on the Contract Drawings and Specifications. Price adjustments are recommended on an individual pit basis with the allowances of a possible pit dimension change as follows:
  - 4.1. For the drum feeder pits (P1 and P2) and the baler feed conveyor pits (P3 and P4), Contractor shall allow for potential length change of +/- 2 feet, width change of +/- 1 feet and depth change of +/- 6 inches. Any changes exceeding these values may entitle Contractor to a change order.
  
5. Phasing Notes:
  - 5.1. Work shall commence on the exterior and in the Areas 1 and 2 for its Substantial Completion to be achieved prior to the start of delivery and installation of the Dual Stream Recyclables Processing System. It shall include all Work as defined in the Contract Drawings, Specifications, and RFP Appendices. It shall also include all rough-ins associated with Mechanical, Electrical, Plumbing, and Fire Protection Equipment. All final connections of Mechanical, Electrical, Plumbing and Fire Protection (including equipment fire sprinkler system) in Areas 1 and 2 shall be completed prior to the startup of processing equipment.
  - 5.2. Work in Area 3 shall be sequenced to allow sufficient access and use of existing space for Contractors on-site as approved by the Engineer and ~~shall the Contractors for Contract Nos. 2-6 shall~~ achieve Substantial Completion ~~before~~ prior to the required date for the Operator to mobilizes mobilizing on-site and have partial occupancy and use of Area 3. Additionally, any Work by Contract Nos. 1 and 3-6 related to all other Areas 1, 2, 4-6 and the site work/exterior shall progress and be completed to support and not delay the overall Project Schedule.
  - 5.3. Contract Nos. 2-6 Work in Areas 4 – 6 shall be sequenced by each applicable Contractor to make the most use and access of working space where the building erection is complete, so the work of Contract No. 1 can proceed efficiently. All work to be coordinated between the Contractors.
  
6. Project Coordination, Means and Methods:
  - 6.1. The Contractor shall be responsible for all means and methods for the Work.

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- 6.2. The Contractor shall be responsible for coordinating the work performed on the Site among the Facility Improvements Contractors and the Equipment Contractor.

**ATTACHMENT 7**

**APPENDIX I  
PROPSOAL FORM 16  
PRICE PROPOSAL FORM**

**CONTRACTOR'S NAME:** \_\_\_\_\_

**PROPOSAL FORM 16**  
**PRICE PROPOSAL FORM**  
**REVISION 1 DATED JULY 19, 2021**

Proposer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Contract Person: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Cell: \_\_\_\_\_

THE CONTRACTOR SHALL STATE BELOW ITS PROPOSAL PRICE FOR THE CONTRACT SERVICES. ADDITIONALLY, THE CONTRACTOR SHALL STATE THE PROPOSED VALUE, WHICH IS INCLUDED IN THE PROPOSED PRICE, BUT CAN BE ATTRIBUTED TO EACH OF THE FOLLOWING WORK ITEMS. THE WORK ITEM BREAKOUT SHALL BE USED FOR INFORMATIONAL REVIEW OF THE PROPOSALS IN ORDER TO VERIFY COMPLETENESS AND AS THE BASIS FOR SCHEDULE OF VALUES PAYMENT.

<b>BASE PRICING</b>	
<b>WORK ITEM</b>	<b>\$ VALUE</b>
<b>1. Civil/Sitework</b>	
1.1. Clear, Strip and Soil Erosion Control	
1.2. Exterior Demolition	
1.3. Rough Grade, Excavation and Regrade	
1.4. Water Line Modifications and Stormwater Improvements	
1.5. Loading Dock Ramp, Retaining Walls and Trench Drain	
1.6. Fencing	
1.7. Paving	
1.8. Landscaping/Hardscaping	
1.9. East Side Retaining Wall (along the east fence line)	

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1.10. Signage, Striping	
1.11. Others/Misc.	
<b>2. Concrete Work</b>	
2.1. Foundations Areas 4-6 & Loading Dock	
2.2. Slab-on-Grade Areas 4-6	
2.3. Pit P1 Construction	
2.4. Pit P2 Construction	
2.5. Pit P3 Construction	
2.6. Pit P4 Construction	
2.7. Dock Pits Area 6	
2.8. Concrete Bunkers/Pushwall including Footings	
2.9. Four (4) Existing Pits Fill / Partial Fill & Integration with New Pits	
2.10. Exterior Concrete Pads for Fire Rover Containers and Switchboard	
2.11. Trench Drains, Piping & Holding Tank Area 4	
2.12. Sump & Piping Area 2	
2.13. Others/Misc.	
<b>3. Demolition and Buildout Areas 1 and 2</b>	
3.1. Demolition of Concrete Pushwalls and Environmental Wall	
3.2. Demolition of Guardrails, Building Wall Panel and/or Steel Framing and Canopies	
3.3. Overhead Doors and Personnel Doors Framing	
3.4. Column and Building Reinforcing and Brace Relocations	
<b>4. Demolition, Buildout &amp; Reconstruct Area 3</b>	
4.1. Demolition of Interior Walls, Ceilings, Finishes & Fixtures	
4.2. Structural Modifications & Wall Openings	
4.3. Carpentry & Drywall	
4.4. Ceilings	

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4.5. Millwork	
4.6. Interior Doors & Windows	
4.7. Finishes (complete)	
4.8. Restroom Accessories	
4.9. Misc/Other (including entrance canopy)	
<b>5. PEMB and Associated Work Areas 4 – 6</b>	
<b>5.1. PEMB Addition</b> (Proposer to choose its proposed method approach and insert the pricing for the method chosen. Proposer to indicate “N/A” for the method not chosen.)	
Method 1: PEMB Addition Framed into the Existing Column Line 1	
a. Engineering, Design, Fabrication and Delivery of PEMB	
b. Erection of PEMB	
Method 2: Stand-alone PEMB addition Self-Supported	
a. Engineering, Design, Fabrication and Delivery of PEMB	
b. Erection of PEMB	
5.2. Building Structure Grounding	
5.3. Fire Service Room in Area 5 (complete)	
5.4. Gutters & Leaders	
<b>6. Roof Work</b>	
6.1. Metal Roof Recoat/Repair and Repair/Replacement of Damaged Roof Insulation Areas 1 and 2	
6.2. Roof and Insulation Full Replacement Area 3	
6.3. Roof Reinforcement for MEP/F as needed	
6.4. Roof Interface Work between Area 2 &3 and between Areas 1 &2 and the new PEMB addition for Areas 4-6	
<b>7. Loading Dock Equipment (complete)</b>	
<b>Overhead Doors</b>	

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7.1. Structural Framing (as required)	
7.2. Overhead Doors (complete)	
<b>8. Personnel Doors and Hardware (complete) including Breakroom North Door &amp; All other Doors to the Exterior</b>	
<b>9. Miscellaneous Construction</b>	
9.1. Environmental Wall – Insulated Metal Panel between Areas 1 &2 and between Areas 5 &6	
9.2. Bollards	
9.3. Floor Damage Repairs (Area 2)	
9.4. Electrical Disconnect (Make Safe) for Demo	
9.5. Cleaning / Blowdown of Areas 1 & 2 (Walls & Roof Underside)	
9.6. Allowance for providing waste disposal containers & hauling to Rockland Green's Transfer Station for waste generated from Contract Nos. 3-6	\$30,000.00
<b>10. General Conditions &amp; Insurance</b>	
<b>11. Bonds</b>	
<b>12. Mechanical/HVAC</b>	
12.1. HVAC Area 1	<b>N.I.C.</b>
12.2. HVAC Area 2	<b>N.I.C.</b>
12.3. HVAC Area 3	<b>N.I.C.</b>
12.4. HVAC Area 4	<b>N.I.C.</b>
12.5. HVAC Area 5	<b>N.I.C.</b>
12.6. Controls	<b>N.I.C.</b>
12.7. Balancing	<b>N.I.C.</b>
<b>13. Plumbing</b>	
13.1. Plumbing Area 2	<b>N.I.C.</b>
13.2. Plumbing Area 3	<b>N.I.C.</b>
13.3. Plumbing Area 5	<b>N.I.C.</b>
<b>14. Electrical</b>	
14.1. Service Upgrade	<b>N.I.C.</b>
14.2. Electrical System Grounding	<b>N.I.C.</b>
14.3. Power Drops for Contract No. 1 to Areas 2, 5 and Compressor Room	<b>N.I.C.</b>
14.4. Area 3 Electrical	<b>N.I.C.</b>
14.5. Areas 1,2,4,5 & 6 Interior Lighting	<b>N.I.C.</b>
14.6. Miscellaneous Power and Wiring	<b>N.I.C.</b>
14.7. Exterior Lighting	



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14.8. IT/Communications	<b>N.I.C.</b>
<b>15. Fire Protection Systems</b>	
15.1. Fire Alarm Systems All Areas	<b>N.I.C.</b>
15.2. Fire Sprinkler Systems All Areas	<b>N.I.C.</b>
15.3. Backflow Prevention Area 5 Fire Water Service	<b>N.I.C.</b>
<b>TOTAL PROPOSED PRICE:</b>	\$
<b>WRITTEN IN WORDS:</b>	

<b>ALTERNATE PRICING</b>	<b>\$ VALUE</b>
16. ALTERNATE 1: Area 1 and 2 Roof Work: Full removal and replacement for metal roof and roof insulation	
17. ALTERNATE 2: Environmental Wall between Areas 1&2 and between Areas 4&5 supplied and constructed as an insulated PEMB wall partition instead of IMP wall panels	
18. ALTERNATE 3: Extend the East Side Retaining Wall (along the east fence line) the additional length plus the additional paving. Insert here the net additional price to Item 1.9 for this additional Work.	
19. ALTERNATE 4: For Area 1, in lieu of removing only portions of the existing concrete floor for replacement, provide the net additional price to remove the entire floor area and replace with a new floor with the same specifications of new floor for Area 4.	
20. ALTERNATE 5: Complete removal and replacement of existing metal roof and insulation for Areas 1&2 with same specifications for Areas 4-6.	

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**CONTRACTOR'S NAME:**

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<b>VOLUNTARY ALTERNATE PRICING (Identify)</b> Contractors are encouraged (but are not required) to offer any beneficial Voluntary Alternates for review and consideration by Rockland Green and its Engineer's. Provide detailed description for each, attach additional sheets as needed.	<b>VALUE</b>
21.	
22.	
23.	

**NOTES:**

1. Work Item Values **shall not** include disposal fees at the Rockland Green facilities for waste or for concrete recycling.
2. Price to assume no presence of lead, mold or asbestos in Area 3. Any associated removal costs are not to be included in the price.

**UNIT PRICING & SUPPLEMENTAL REQUIRED INFORMATION**

Please provide the following information in support of the above pricing and Proposal.

1. Estimated Total Length \_\_\_\_\_ (fill in) Linear Feet included in Item 1.6 above, Fence.
2. Estimated Total Length \_\_\_\_\_ (fill in) Linear Feet included in Item 1.9 above, Retaining Wall.
3. Estimated Total Length \_\_\_\_\_ Linear Feet included in Item 2.8 above.
4. Estimated Total Length \_\_\_\_\_(fill in) Linear Feet included in Item 10.1 above, Insulated Metal Panel (IMP) Wall (Base Price)
5. Estimated Total Length \_\_\_\_\_(fill in) Linear Feet included in Item 18 above, PEMB Wall (Alternate No. 2 Price)
6. Quantity of Pipe Bollards \_\_\_\_\_(fill in) Quantity included in Item 10.2 above, Bollards
7. Rock removal & disposal unit price if encountered \_\_\_\_\_(fill in)

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Authorized Signature

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Date

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Name & Title

**ATTACHMENT 8**

**CIVIL SCOPE OF WORK NARRATIVE**

## **ATTACHMENT 8**

*Narrative clarification of base bid civil scope of work for the east side retaining wall, associated paving, and other site items.*

The base bid for the civil site design has been revised based on received current survey data indicating that the existing building has a finished floor elevation of 549.5 ft. The surrounding grading has been adjusted to tie into the building elevation and includes adjustments to catch basin rim elevations and dimensions of the retaining wall along the east side of the work area. The retaining wall has been reduced to a length of approximately 350 linear feet with a maximum height of 8.3 ft. A new asphalt pavement entry way has been added to the equipment room at the northwest corner of the existing building. Additional details and notes have been added for clarity to describe the scope of work, including but not limited to, protection of existing stone curbing, protection of an existing monument and flagpole, and landscaping to remove and replace existing shrubs.

**ATTACHMENT 9**

**STRUCTURAL SCOPE OF WORK NARRATIVE**

## **ATTACHMENT 9**

### *Narrative clarification PEMB addition design methods.*

Method 1 for the PEMB addition will be a standalone structure. An additional building line identified as 0.9 has been added immediately to the east of building line (sidewall) 1. New PEMB tapered columns will support the west end of the new rafter frames in the locations as identified on the drawings. The columns at grid lines 0.9/G, H, J, K & L will bear on the concrete walls at the elevations shown. Columns at grid lines 0.9/A, B, C, D, E & F will bear on piers at elevation 100'-0". Concrete walls have been revised to include integral pier reinforcement for the column supports, new piers have been added for the columns bearing at finished floor elevation and new footings tied to the existing foundations have been added at each column location.

Method 2 for the PEMB addition utilizes the existing building structure for support of the west end of the new addition rafter frames. This will require analysis and reinforcement of the existing PEMB building structure by the awarded contractor's PEMB manufacturer's or third party engineer. The original building design drawings are available. The reinforcement shown in the structural drawings and details is approximate for bidding purposes only. No changes, due to the rafters framed into the existing PEMB columns, are required to the foundations along building line 1.